



## CITY OF HAYWARD AGENDA REPORT

Meeting Date 4/22/04  
Agenda Item 1

**TO:** Planning Commission

**FROM:** Carl T. Emura, ASLA, Associate Planner

**SUBJECT:** Use Permit Application No. 2004-0002 – Alex Irshaid (Applicant) /World Oil Marketing Co., Inc. (Owner): Request to Replace an Existing Service Station with a New Service Station. CC-C (Central City Commercial) Zoning District

The Property is Located at 22253 Foothill Boulevard at Hazel Avenue

### RECOMMENDATION:

Staff recommends that the Planning Commission:

1. Find that the proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Sections 15302, Class 2, *Replacement or Reconstruction*, and
2. Approve the Use Permit, subject to the attached findings and conditions of approval.

### BACKGROUND:

The service station is located on a 21,310 square foot parcel on the southwest corner of Foothill Boulevard and Hazel Avenue and borders Mervyn's Corporate Headquarters parking lot on the north and west sides of the property. The parking lot and surrounding roads isolate the site from other uses. The gas station was built in 1961 and remodeled in 1971. In 1980 a Use Permit to construct a canopy cover over the existing gasoline pump islands and a Variance for a reduction in the landscape requirement was approved. The station was previously operated by UNOCAL and Shell and is currently a World service station.

The General Plan designation for the property is Commercial Retail and Office (ROC). The property is in the CC-C (Central City Commercial) Zoning District. The purpose of the district is to provide a mix of business and other activities, which will enhance the economic vitality of the downtown area.

### DISCUSSION:

The applicant proposes to demolish the service station and replace it with a new facility. The mini-mart (1,223 square feet) will be relocated from the center of the property to the northwest

corner of the property and eight gas pumps will be added replacing the four existing gas pumps. Staff has observed that the existing service station is heavily used during the commute hours, and the addition of four more pumps would ease the congestion that occurs during these hours. The pump lanes would be perpendicular to Foothill Boulevard rather than parallel as they currently are oriented and would improve on-site orientation. The entrances to the service station would be reduced from four to two, which would reduce traffic conflicts on Foothill Boulevard and allow for additional landscaping.

The applicant is proposing a contemporary design that would be compatible with the Mervyn's Headquarters. The front façade of the mini-mart would be modulated and the main entry would be articulated with a higher roof-line. Awnings would be provided above the windows, tile would form a base beneath the windows, and a decorative cap would encircle the top of the building, providing additional detailing to the mini-mart. On the side facing the Mervyns' parking lot, metal reveals would provide a grid pattern to break up the solid wall and visually enhance the rear walls of the mini-mart.

Staff believes the front façade would benefit with a horizontal trim on the blank walls aligning with the middle horizontal window muntin, continuation of the tile base to the entry doors and the addition of decorative motifs above the awnings. Staff recommends that the color of the tile and awning be muted and primary colors avoided yet provide contrast to the earth tones of the building. These elements would accentuate the horizontal lines of the building and alleviate a "boxy" look. In addition, the walls facing the parking lot would benefit with the addition of architectural lighting to further enhance the rear of the building. Staff has added these items as condition of approval for this project.

When an operator demolishes and rebuilds a service station, the new station must comply with the requirements for a drive-in establishment. Staff believes all requirements are met. The perimeter of the site would be fully landscaped with trees, shrubs and groundcover and would meet the 20 percent minimum landscape requirement for a service station. The Off-Street Parking Regulations require five spaces for the service station, which the applicant is providing. One of the parking spaces would be van accessible and two accessible bathrooms would be provided in the interior of the building. The service station will operate 6 am to 10 pm, Monday through Saturday, and 8 am to 10 pm on Sunday.

The applicant would retain the existing monument sign at the corner of Foothill Boulevard and Hazel Avenue and would add two individual channel letter wall signs to the mini-mart that would be mounted on the entry tower and two wall signs on the pump island canopy. Only four signs are allowed for Service Stations on a corner property and a maximum of 100 square feet of signage is allowed (approximately 110 square feet is proposed) for Service Stations within the CC-C District. Therefore one sign would have to be removed to comply with both the number of signs and the maximum square footage allowed. Staff believes the existing monument sign could be enhanced with a matching trim cap which would complement the building architecture and has included it as a condition of approval.

## ENVIRONMENTAL REVIEW:

The proposed project is Categorically Exempt from the California Environmental Quality Act (CEQA) guidelines, pursuant to Sections 15302, Class 2, *Replacement or Reconstruction*.

## PUBLIC NOTICE:

On January 13, 2004, a Referral Notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the Hayward Area Planning Association and the North Hayward Neighborhood Task Force. The Referral Notice provided an opportunity for persons to comment on the project, however, staff did not receive any comments.

On April 12, 2004, a Notice of Public Hearing for the Planning Commission meeting was mailed. In addition, a public notice sign was placed at the site prior to the Public Hearing to help notify neighbors and interested parties residing outside the 300-foot radius.

## CONCLUSION:

In staff's opinion, the proposed service station would be compatible with surrounding land uses and would not impair the character and integrity of the zoning district and surrounding area. Although use of the site would be intensified with four additional gas pumps, this would ease the back-up that occurs during the commute hours and provide convenience to the residents of the Hayward. In addition, the increased landscape area and improved building architecture will cause the project to have a positive impact on surrounding uses. The project also meets all applicable requirements of the Zoning Ordinance, the Design Guidelines and other applicable ordinances.

*Prepared by:*



Carl T. Emura, ASLA  
Associate Planner

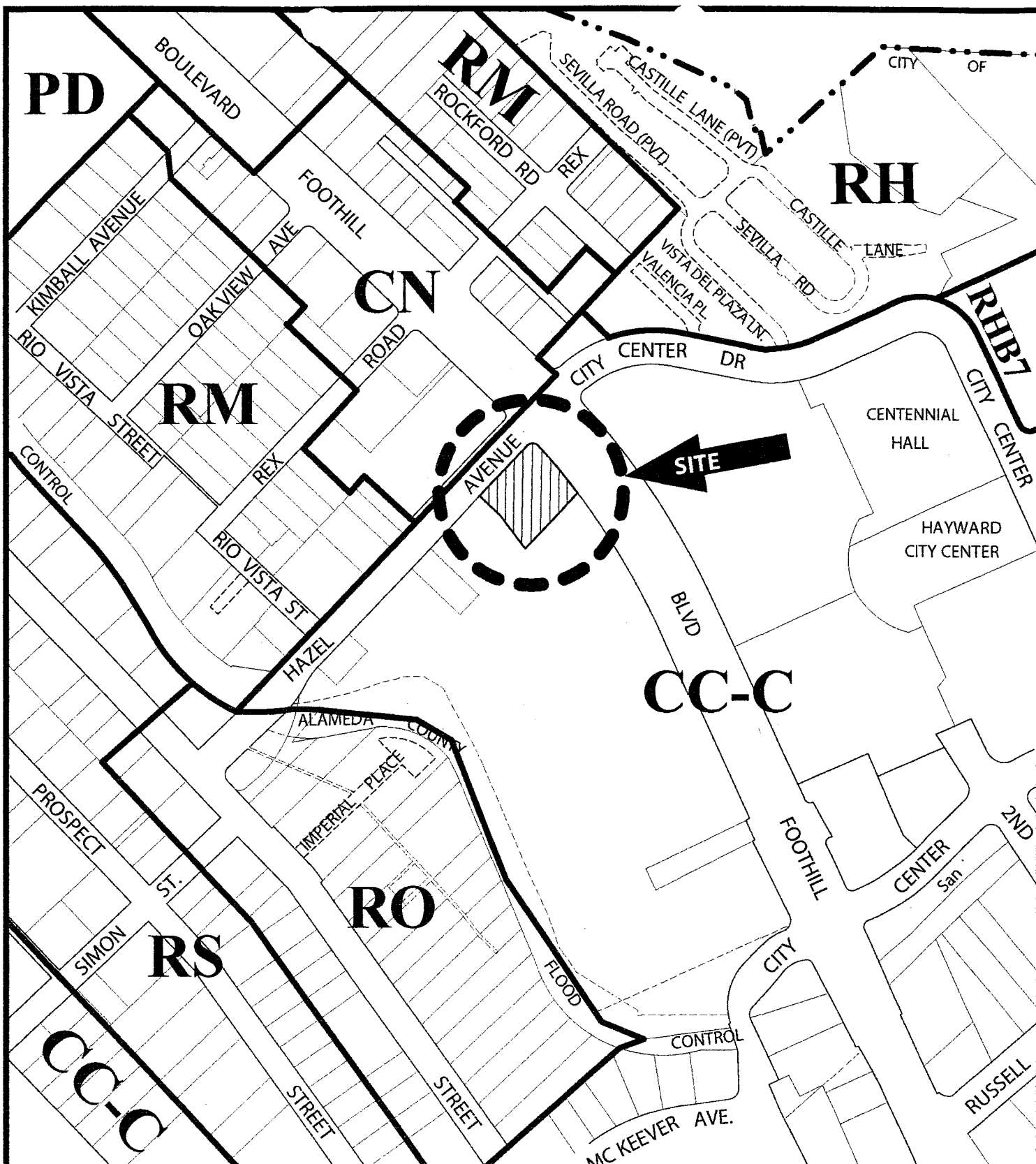
*Recommended by:*



Dyana Anderly, AICP  
Planning Manager

Attachments:

- A. Area & Zoning Map
- B. Findings for Approval
- C. Conditions of Approval  
Plans/Perspectives



### Area & Zoning Map

PL-2004-0002 UP

Address: 22253 Foothill Boulevard

Applicant: Alex Irshaid

Owner: World Oil Market Company, Inc.

CC-C-Central City-Commercial

CN-Neighborhood Commercial

PD-Planned Development

RH-High Density Residential RHB 7

RM-Medium Density Residential RMB 3.5, RMB 4

RO-Residential Office

RS-Single-Family Residential,RSB4,RSB6



## **FINDINGS FOR APPROVAL**

**USE PERMIT APPLICATION NO. 2004-0002**

**Alex Irshaid (Applicant)**

**World Oil Marketing Company (Owner)**

**22253 Foothill Boulevard**

**Request to replace existing gas station with new facility**

- A. The approval of Use Permit application No. 2004-0002, as conditioned, will have no significant impact on the environment, cumulative or otherwise. The project reflects the City's independent judgment, and the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Sections 15302, *Replacement or Reconstruction*.
- B. The proposed use is desirable for the public convenience or welfare in that the proposed gas station would provide additional pump stations, which would accommodate more customers and ease congestion on surrounding streets.
- C. The proposed use will not impair the character and integrity of the zoning district and surrounding area in that the new facility would enhance the area with a contemporary design while blending in with the surrounding buildings.
- D. The proposed use will not be detrimental to the public health, safety, or general welfare in that the use will be conducted in accordance with all applicable building and fire codes and the best available engineering management practices.
- E. The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.

## **CONDITIONS OF APPROVAL**

**USE PERMIT APPLICATION NO. 2004-0002**

**Alex Irshaid (Applicant)**

**World Oil Marketing Company (Owner)**

**22253 Foothill Boulevard**

**Request to replace existing gas station with new facility**

### **General:**

1. Application No. PL-2004-0002 is approved subject to the conditions listed below. This permit becomes void one year after the effective date of approval, unless prior to that time a building permit application for the subject project has been accepted for processing by the Building Official, or a time extension of this application is approved.
2. If a building permit is issued for construction of improvements authorized by the conditional use permit approval, the conditional use permit approval shall be void two years after issuance of the building permit, or three years after approval of the conditional use permit application, whichever is later, unless the construction authorized by the building permit has been substantially completed or substantial sums have been expended in reliance upon the conditional use permit approval.
3. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division 15 days prior to the expiration date.
4. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
5. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation.
6. All improvements indicated on Exhibit "A", dated 12/15/03, are hereby approved except as noted below, and must be installed prior to authorization for final building occupancy/gas or electric meter service.
7. The service station shall comply with the design and performance standards for a Drive-In Establishment and Automobile Service Station, Section 10-1.1045 (J) of the Zoning Ordinance.
8. Prior to application for a Building Permit the following changes shall be made to the plans:
  - a) A copy of these conditions of approval shall be included on a full-sized sheet(s) in the plan set.
  - b) All downspouts must be inside the walls and downspouts from the gas canopy must drain to an underground drain system.

- c) A completed Construction and Demolition Debris Recycling Statement must be included.
  - d) On the front façade, a horizontal trim on the blank walls aligning with the middle horizontal window muntin, continuation of the lower tile wall to the entry doors and the addition of decorative motifs above the awnings, subject to Planning Director approval, shall be provided.
  - e) On the rear walls facing the Mervyn parking lot, architectural lighting shall be provided.
  - f) Light fixtures over the gasoline pumps shall be recessed into the canopy
9. The colors of the building, tile and awning shall be approved by the Planning Director. The color of the tile and awning shall be muted and primary colors avoided.
  10. Prior to final inspection/occupancy, all improvements and conditions of approval shall be completed to the satisfaction of the Planning Director.
  11. Exterior lighting shall be provided which is adequate for the illumination and protection of the entire premises 24 hours per day. Lighting shall be installed in such a manner that it does not shine into nearby residential properties.
  12. The establishment shall discourage patrons and visitors from loitering in public rights-of-way, parking areas, and in front of adjacent properties.
  13. No vending machines or other goods or products shall be displayed or sold outside the building, excluding newspaper racks.
  14. Any public telephone installed on the property shall be located inside the store.
  15. All parking stalls and maneuvering areas shall meet the minimum standards of the City Parking Ordinance. The parking stalls shall be striped. Vehicular circulation areas shall be signed as fire lanes and posted for "No Parking".
  16. Each parking space shall be provided with a Class "B" Portland cement concrete bumper block or a continuous concrete curb not less than 6 inches in height above the finished pavement.
  17. Prior to connection of utilities, the parking lot pavement shall be repaired or replaced. Existing pavement shall be resurfaced to eliminate potholes and to provide a smooth, safe surface. The City Engineer shall determine the scope of improvements.
  18. Prior to issuance of a building permit, all building materials and colors, as well as required modifications to the structures, shall be approved by the Planning Director.
  19. Any roof-mounted mechanical equipment shall be fully screened from view by the roof structure.
  20. A decorative pre-cast concrete trash receptacle, with a self-closing metal lid, shall be located near each of the exterior customer doors. The Planning Director shall approve the design and placement.
  21. A trash enclosure shall be constructed at the location as depicted on the site plan. The trash enclosure shall be constructed of a decorative 6-foot-high masonry wall and roof



which incorporates the architectural style, color and materials of the primary structure(s), with a solid and lockable, decorative metal access gate. The enclosure shall include internal concrete curbs to protect the side walls. The enclosure shall provide for an equivalent amount of space for recycling containers as for trash containers. The final design shall be approved by the Planning Director prior to the issuance of a building permit.

22. No outside storage of materials, crates, boxes, etc. shall be permitted anywhere on site, except within the trash enclosure as permitted by the fire code.
23. All signs require a Sign Permit and shall comply with the Sign regulations of the CC-C District for service stations, Section 10-1.1555g.(5)(g) of the Zoning Ordinance.
24. The new building signage shall be composed of individual channel letters directly mounted to the wall.
25. A trim cap shall be installed above the existing monument sign. The modified monument sign shall be approved by the Planning Director prior to modification.
26. Utility meters, when not enclosed in a cabinet, shall be screened by either plant materials or decorative screen, allowing sufficient access for reading.
27. Any transformer shall be located underground or screened from view by landscaping and shall be located outside the front yard area.
28. A copy of the conditions of approval for the conditional use permit must be kept on the premises of the establishment and posted in a place where the general public may readily view them.
29. Violation of conditions is cause for revocation of this permit, subject to a public hearing before the duly authorized reviewing body.

#### **Landscaping:**

30. Prior to approval of improvement plans or the issuance of a building permit, detailed landscaping and irrigation plans shall be prepared by a licensed landscape architect and submitted for review and approval by the City Landscape Architect, including details of features such as benches, pavement materials, trellises, etc. Landscaping and irrigation plans shall comply with the City's Water Efficient Landscape Ordinance.
31. The landscaping and irrigation plans shall include live groundcover or shrubs under the trees and vines on the masonry walls and on the trash enclosure.
32. One 24-inch box street tree shall be provided for 20-40 feet of street frontage depending on species. If street trees are planted in sidewalks, tree well shall be in 5 x 5 planter cutouts. Use decomposed granite, tree grates or other permeable surface to bring the planter area to grade.
33. One 15-gallon parking lot tree shall be provided for every 6 parking stalls.
34. A complete automatic sprinkler system with an automatic on/off mechanism shall be installed and maintained within all landscaped areas.

35. Landscaping shall be installed per the approved plans. A Certificate of Substantial Completion and Irrigation Schedule shall be submitted by the project landscape architect prior to approval of occupancy unless otherwise required to be deferred by the City.
36. Landscaping shall be maintained in a healthy, weed-free condition at all times with replacement plants provided where necessary. Required street and parking lot trees that are severely topped or pruned shall be immediately replaced as determined by the City Landscape Architect.
37. The planting and maintenance of shrubs must not impair visibility at street intersections. The height of plant materials in areas where sight distance is critical is limited to three feet. Trees in these areas must be pruned such that the canopy provides adequate visibility.
38. All planter areas adjacent to driveways, parking areas or other vehicular traffic shall be protected with a 6" concrete curb. All raised concrete curbs, which lie between a landscape planter and the side of a parking stall, shall be widened to 18 inches to accommodate vehicle access.

**Engineering:**

39. The project plan shall identify Best Management Practices (BMPs) appropriate to the uses conducted onsite in order to limit the entry of pollutants into storm water runoff to the maximum extent practicable.
40. A grading and drainage plan shall be provided. All pipe sizes, lengths, slopes, inverts, and grate elevations of the storm drain shall be shown on plans. The thru curb drain shall be revised and a 12" RCP shall be provided to connect to the existing 24" storm drain on Hazel Avenue.
41. Fuel dispensing area shall be paved with Portland cement with minimal slope necessary to prevent ponding, and shall be separated from the rest of the site by grade break that prevents run-on of storm water to the extent practicable. The fuel dispensing area is defined as extending a minimum of 6 ½ feet from the corner of each dispenser or the length at which the hose and nozzle assembly may be operated plus a minimum of one foot, whichever is more.
42. The fuel dispensing area shall be covered, and the cover's minimum dimensions must be equal to or greater than the area within the grade break or fuel dispensing area, as defined above. The cover must not drain onto the fuel dispensing area.
43. The proposed driveway along Foothill Boulevard shall be 40 feet maximum width and constructed per City Standard Detail SD110.
44. Prior to the issuance of a grading permit and/or start of any construction activity on-site, the Developer's Engineer shall complete a Development Building Application Information Form: 1) Impervious Material Form, and 2) Operation and Maintenance Information Form.
45. All retaining walls shall be reinforced concrete.

46. All existing driveways to be removed shall be replaced with standard curb, gutter and sidewalk.
47. A Caltrans Permit is required prior to any work to be done along Foothill Boulevard.
48. The developer shall pay the applicable Supplemental Building Construction and Improvement Tax prior to the issuance of a certificate of occupancy.

**Public Works/Division of Utilities:**

49. The existing 5/8" water meter is inadequate for the proposed use. Show Gallon per Minute Demand for domestic water use on plans to determine proper meter size.
50. A Reduced Pressure Backflow Prevention Assembly shall be installed as Per City of Hayward Standard Detail 202 on all commercial, domestic & irrigation water meters.
51. Installation of separate water meters to avoid sewer charges for irrigation consumption and to avoid commercial sewer rates on residential use is recommended.
52. Include a Gallon per Minute Demand on plans to determine proper meter size for the commercial water.
53. Show locations of existing and proposed water meters and sanitary sewer laterals on plans. Keep in mind that water meters are to be located two feet from top of driveway flare as per City of Hayward Standard Details 213 thru 218. Water meters shall be located a minimum of six feet from sanitary sewer laterals as per State Health Code.
54. Show following notes on plans:
  - a) Provide keys/access code/automatic gate opener to utilities for all meters enclosed by a fence/gate as per Hayward Municipal Code 11-2.02.1.
  - b) Only Water Distribution Personnel shall perform operation of valves on the Hayward Water System.
  - c) Water and Sewer service available subject to standard conditions and fees in effect at time of application.

**Water Pollution Source Control:**

55. All on-site storm drain inlets shall be cleaned at least once per year immediately prior to the rainy season. Additional cleaning may be required by the City.
56. All wastewater from saw-cutting operations shall be captured and kept from discharge to the storm drain system. Saw-cutting water may be filtered to remove sand and cement, neutralized to pH less than 12, and the filtered and neutralized water may be discharged to the sanitary sewer on-site.

**Solid Waste and Recycling:**

57. A Construction and Demolition Debris Recycling Summary Report must be completed, including weigh tags, at the COMPLETION of the project.

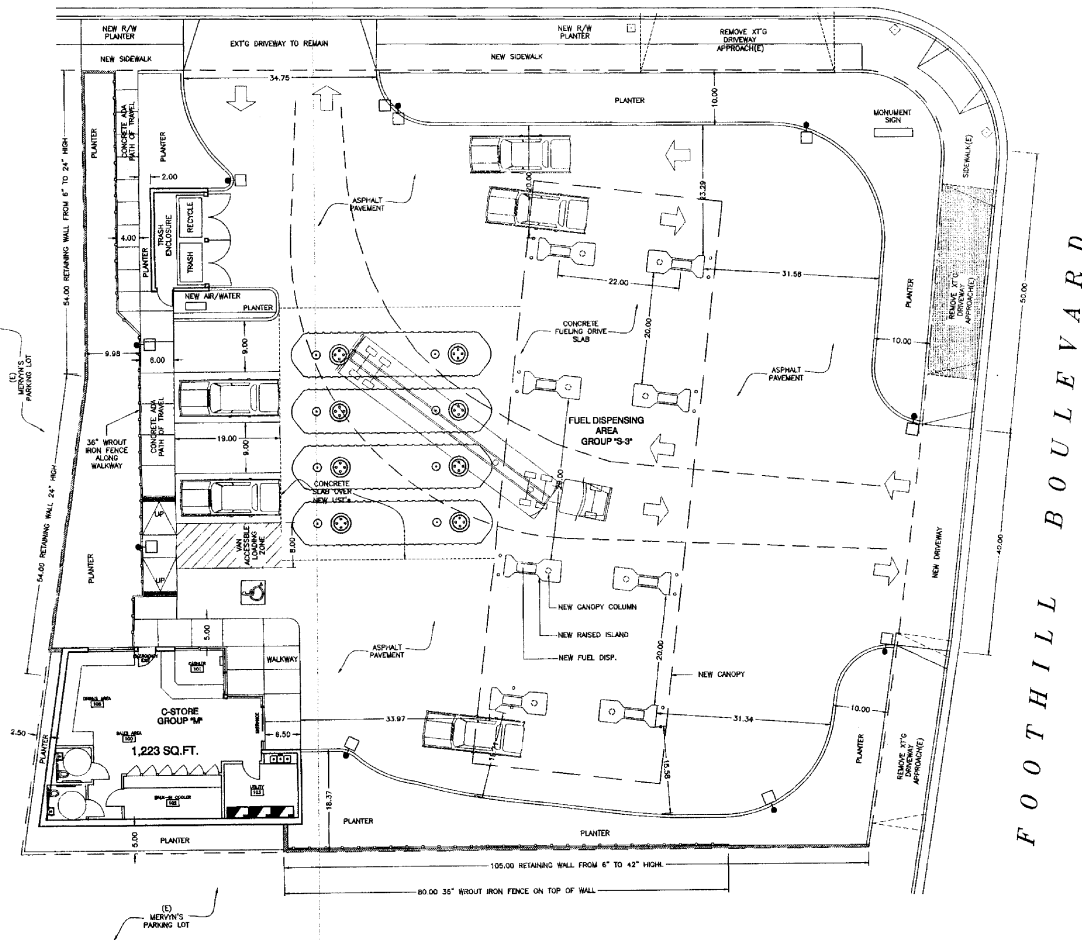
**Fire Department:**

58. Demolition of the existing structure requires a building permit.

59. The Fire Department shall be immediately notified if ground water and/or soil contamination is discovered during demolition, and/or removal of any fueling systems, underground storage tanks, associated piping, etc. An approved and acceptable means shall be established to remediate the contamination.
60. Removal of the sump/hydraulic lift and the existing underground tanks will require a separate fire permit.
61. Installation of new underground fuel tanks will require a separate fire permit.
62. Aboveground LPG storage is not allowed on the gas station property unless reviewed and approved by the Fire Department;
63. Requirements for the construction of the new building and underground tanks will require the following compliance:
  - a. Article 52 of the Fire Code for construction of the new fuel service facility;
  - b. Articles 79 and 80 of the Fire Code for the installation of underground fuel tanks and associated piping/fueling pumps;
  - c. Must meet Underground Storage Tank Regulations (State of California);
  - d. Install approved type portable fire extinguishers within the mini-mart and at the fuel island(s), as required by the Fire Code;
  - e. Install emergency pump shut-off at an approved location as required by the Fire Department;
  - f. No commercial cooking equipment allowed within the mini-mart unless reviewed and approved by the Fire Department;
  - g. Signage and labeling on fuel islands shall meet compliance from the Fire Code;
  - h. Crash post or other acceptable means of providing protection to fuel island dispensers shall be met and approved by the Fire Department.



# HAZEL AVENUE

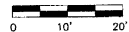


FOOTHILL BOULEVARD



## SITE PLAN

SCALE: 1" = 20' FOOT



**STATION # 76**  
**HAYWARD, CALIFORNIA**  
**WORLD OIL MARKETING COMPANY**

C.U.P.

MARCH, 2004

## DEVELOPMENT TEAM

**APPLICANT:** WORLD OIL MARKETING COMPANY, INC.  
 9302 S. GARFIELD AVENUE  
 SOUTH GATE, CA 90280-1966  
 562.928.0100 EXT. 215  
 JOHN HUNDLEY  
 JOHN@WORLD.OIL.NET

**PROPERTY OWNER:** WORLD OIL MARKETING COMPANY, INC.  
 9302 S. GARFIELD AVENUE  
 SOUTH GATE, CA 90280-1966  
 562.928.0100  
 JOHN HUNDLEY  
 JOHN@WORLD.OIL.NET

**ENGINEER:** RAMCAM CORPORATION  
 801 LA PAZ CIRCLE  
 CORONA, CA 92679  
 909.734.6330  
 ALEXA IRSHAD  
 RAMCAMCORP@COMCAST.NET

## ASSESSOR'S PARCEL

428-0026-004

## ZONING

CC-C

## BENCHMARK

TOP OF 1000 SET IN MONUMENT CASTING AT THE CORNER OF FOOTHILL BOULEVARD, 28 FEET NORTHWEST OF THE CONTROLLING INTERSECTION OF HAZEL AVENUE. ELEVATION TAKEN AS 106.50

## LEGAL DISCRIPTION

REAL PROPERTY IN THE CITY OF HAYWARD, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PORTIONS OF LOTS 10, 11, 12 AND 13, AS SAID LOTS ARE SHOWN ON THE MAP OF "WIRELESS TRAIL, GREEN TOWNSHIP, ALAMEDA COUNTY, CALIFORNIA, FILED MARCH 25, 1910 IN BOOK 25 OF MAPS, AT PAGE 44, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERN EXTREMITY OF A CURVE WITH A RADIUS OF 15.00 FEET, CONNECTING THE SOUTHEASTERN LINE OF HAZEL AVENUE WITH THE SOUTHWESTERN LINE OF FOOTHILL BOULEVARD, AS SAID AVENUE AND BOULEVARD NOW EXIST; AND RUNNING THENCE ALONG SAID LINE OF HAZEL AVENUE, SOUTH 42 DEGREES 16' WEST 140.00 FEET (THE BEARING OF SAID LINE OF HAZEL AVENUE BEING TAKEN AS SOUTH 42 DEGREES 16' WEST FOR THE PURPOSES OF MAKING THIS DESCRIPTION); THENCE LEAVING SAID LINE OF HAZEL AVENUE, SOUTH 41 DEGREES 53' 45" EAST 54.563 FEET, THENCE SOUTH 39 DEGREES 20' 15" EAST 86.342 FEET TO THE LINE OF SAID PARCELS, WITH SAID LINE OF HAZEL AVENUE, SOUTH 41 DEGREES 53' 45" EAST 142.00 FEET THEREFROM, MEASURED AT RIGHT ANGLES THERETO; THENCE ALONG SAID PARALLEL LINE, NORTH 42 DEGREES 16' EAST 102.61 FEET TO SAID SOUTHWESTERN LINE OF FOOTHILL BOULEVARD; THENCE ALONG THE LAST NAMED LINE, NORTHWESTERLY 134.768 FEET TO THE SOUTHWESTERN EXTREMITY OF SAID CURVE, WITH A RADIUS OF 15.00 FEET, THENCE NORTHWESTERLY AND SOUTHWESTERLY ALONG SAID CURVE TO THE LEFT, WITH A RADIUS OF 15.00 FEET, A DISTANCE OF 24.665 FEET TO THE POINT OF BEGINNING.

## PROJECT SUMMARY

**OCCUPANCY:** GROUP M/VS-3 OCCUPANCY, ASSEMBLY RETAIL SALES AND FUEL DISPENSING CONSTRUCTION TYPE VNI, NON-SPRINKLED

**TYPE OF CONSTRUCTION:** CONCRETE BLOCK, WOOD FRAMING, STUCCO AND CONCRETE SLABS ON GRADE

**LAND AREA:** 0.49 AC (21,310.31 SF)

**CONVENIENCE STORE:** 1,223 SF

**TOTAL BUILDING AREA:** 1,223 SF

**FUELING ISLANDS CANOPY:** 3,670 SF

**OVERALL BUILDING COVERAGE:** 4,893 SF (23%)

### PARKING REQUIRED

REQUIRED (1,400):  
 BUILDING (1,400): 3.06 STALLS

EMPLOYEE: 1 STALL

AIR/WATER: 1 STALL

**PARKING PROVIDED:** 5 STALLS

**OVERALL LANDSCAPE AREA:** 4,278 SF

**OVERALL LANDSCAPE COVERAGE:** 20%



ALL DESIGN, PREPARE AND CONSTRUCTION OF THIS PROJECT HAS BEEN REVIEWED AND APPROVED BY THE ENGINEER OF RECORD, ALEXA IRSHAD, P.E., LICENSE NO. 45678, STATE OF CALIFORNIA. ALL DESIGN, PREPARE AND CONSTRUCTION OF THIS PROJECT HAS BEEN REVIEWED AND APPROVED BY THE ENGINEER OF RECORD, ALEXA IRSHAD, P.E., LICENSE NO. 45678, STATE OF CALIFORNIA.

**World Oil Marketing Company**  
 9302 SOUTH GARFIELD AVENUE  
 SOUTH GATE, CA 90280-1966  
 TEL: (562) 928-0100 FAX: (562) 928-1966



**STATION #76**  
**22253 FOOTHILL**  
**HAYWARD, CALIFORNIA 94541**  
**PROPOSED SITE PLAN LAYOUT**

REVIEWER	DATE

PROJECT NO: RC-03176  
 DATE: 12.15.03

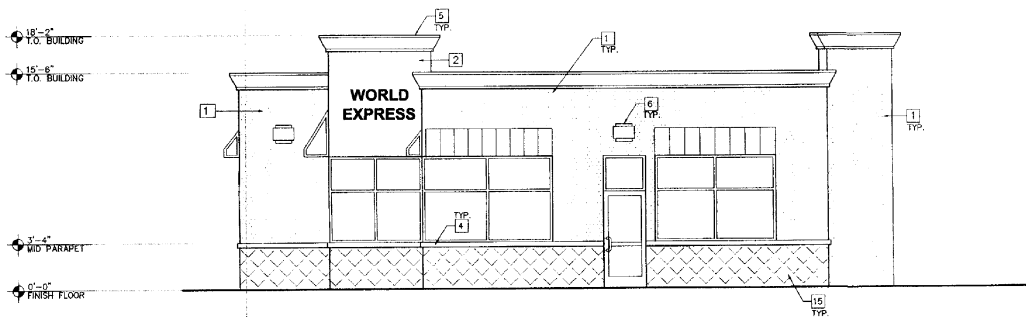
DESIGNED: A.I.  
 CHECKED: J.W.  
 DRAWN: A.I.

SHEET:

**CUP-2**

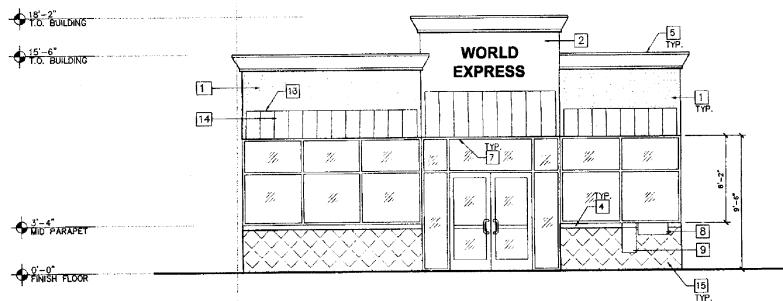
**IMPORTANT NOTICE**  
 Station 03176 is a preliminary design project. It is not intended to be used for construction without the approval of the City of Hayward. For your City Hall & Planning Dept.  
 1-800-227-2600





**NORTH ELEVATION**  
LOOKING SOUTH

1/4" = 1 FOOT



**EAST ELEVATION**  
LOOKING WEST

1/4" = 1 FOOT

**MATERIAL & COLOR SCHEDULE\***

- 1 LIGHT DASH STUCCO, SW2200 "TRAVERTINE"
- 2 LIGHT DASH STUCCO, SW2446 "EDELWEISS"
- 4 4" X 10" PRECISION BLOCK, ORCO "CHOCOLATE"
- 5 FOAM CORNICE, LIGHT DASH STUCCO, SW2015 "FAUX MARBLE" (LIGHT CHOCOLATE)
- 6 DECORATIVE EXTERIOR WAL-PACK, LSI CASCADE SERIES, "BRONZE"
- 7 ALUMINUM STORE FRONT SYSTEM, "CLEAR ANODIZED"
- 8 TRANSACTION DRAWER, "CLEAR ANODIZED"
- 9 PURSE SHELF, "CLEAR ANODIZED"
- 13 OVERHEAD AWNING
- 14 2"x2" STEEL TUBE TRILLS STRUCTURE
- 15 12"x12" UNFADING RED SLATE TILE WITH NATURAL CLEFT FINISH

**BUILDING ELEVATIONS**

**STATION # 76**  
**HAYWARD, CALIFORNIA**

**WORLD OIL MARKETING COMPANY**

**C.U.P.**  
MARCH, 2004

IMPORTANT NOTICE  
Station 42564(427) is the Government  
Order registered in the State of California  
and is subject to the provisions of the  
for your City and to Transfer City  
UNSUBSIDIZED - SERVICE ALTHO  
1-800-227-2800  
For Information Only  
© 2004, State of California, Inc.

**RAMCAM**  
ARCHITECTURAL  
CORPORATION  
10000  
CORONA, CA 92620  
TEL: 714-241-1000  
FAX: 714-241-1001  
WWW.RAMCAMCORPORATION.COM

ALL DEAS, FINISHES, PLANS AND SPECIFICATIONS  
AND MATERIALS IN ALL DOCUMENTS ARE THE  
PROPERTY OF RAMCAM ARCHITECTURAL  
CORPORATION. NO PART OF THIS  
DOCUMENT MAY BE REPRODUCED OR  
TRANSMITTED IN ANY FORM OR BY ANY  
MEANS, ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING,  
OR BY ANY INFORMATION STORAGE AND  
RETRIEVAL SYSTEM, WITHOUT PERMISSION  
IN WRITING FROM RAMCAM ARCHITECTURAL  
CORPORATION.

**World Oil Marketing  
Company**  
2000 SOUTH GARDEN AVENUE  
SUITE 200  
HAYWARD, CA 94541  
TEL: (510) 882-0100 FAX: (510) 882-1001



**STATION #76**  
**22253 FOOTHILL**  
**HAYWARD, CALIFORNIA 94541**

**STORE BUILDING**  
**ELEVATIONS**

**SHEET TITLE**

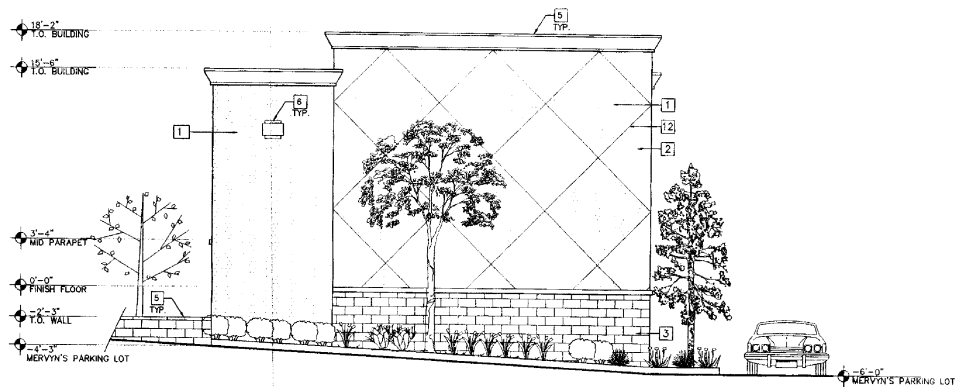
REVISIONS

PROJECT NO: RC-03176  
DATE: 12.15.03  
DESIGNED: A.I.  
CHECKED: J.W.  
DRAWN: A.I.

SHEET:

**CUP-4**





WEST ELEVATION  
LOOKING EAST

1/4" = 1 FOOT

# MATERIAL & COLOR SCHEDULE\*

- 1 LIGHT DASH STUCCO, SW2200 "TRAVERTINE"
- 2 LIGHT DASH STUCCO, SW2446 "EDELWEISS"
- 3 8" SPLIT FACE BLOCK, ORCO "TAN"
- 4 4" X 10" PRECISION BLOCK, ORCO "CHOCOLATE"
- 5 FOAM CORNICE, LIGHT DASH STUCCO, SW2015 "FAUX MARBLE" (LIGHT CHOCOLATE)
- 6 DECORATIVE EXTERIOR WAL-PACK, LSI CASCADE SERIES, "BRONZE"
- 10 RETAINING WALL: 8" SPLIT FACE BLOCK W/ 2" CAP, SW2200 "TRAVERTINE"
- 11 36" HIGH WROUGHT IRON FENCE (2"x2" POSTS & 1" SQ. PICKETS, 2"x2" TOP RAILING), ORCO "TAN"
- 12 1" METAL REVEALS



ALL EXIST. GEOTECH. PLANS, AND SPECIFICATIONS  
SHALL BE REVIEWED BY THE ARCHITECT AND THE  
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STATION #76  
22253 FOOTHILL  
HAYWARD, CALIFORNIA 94541  
SHEET TITLE  
STREET BUILDING  
ELEVATIONS

REV	DATE	BY	CHKD

PROJECT NO. RC-03176  
DATE 12.15.03  
DESIGNED A.I.  
CHECKED J.W.  
DRAWN A.I.

SHEET  
CUP-5

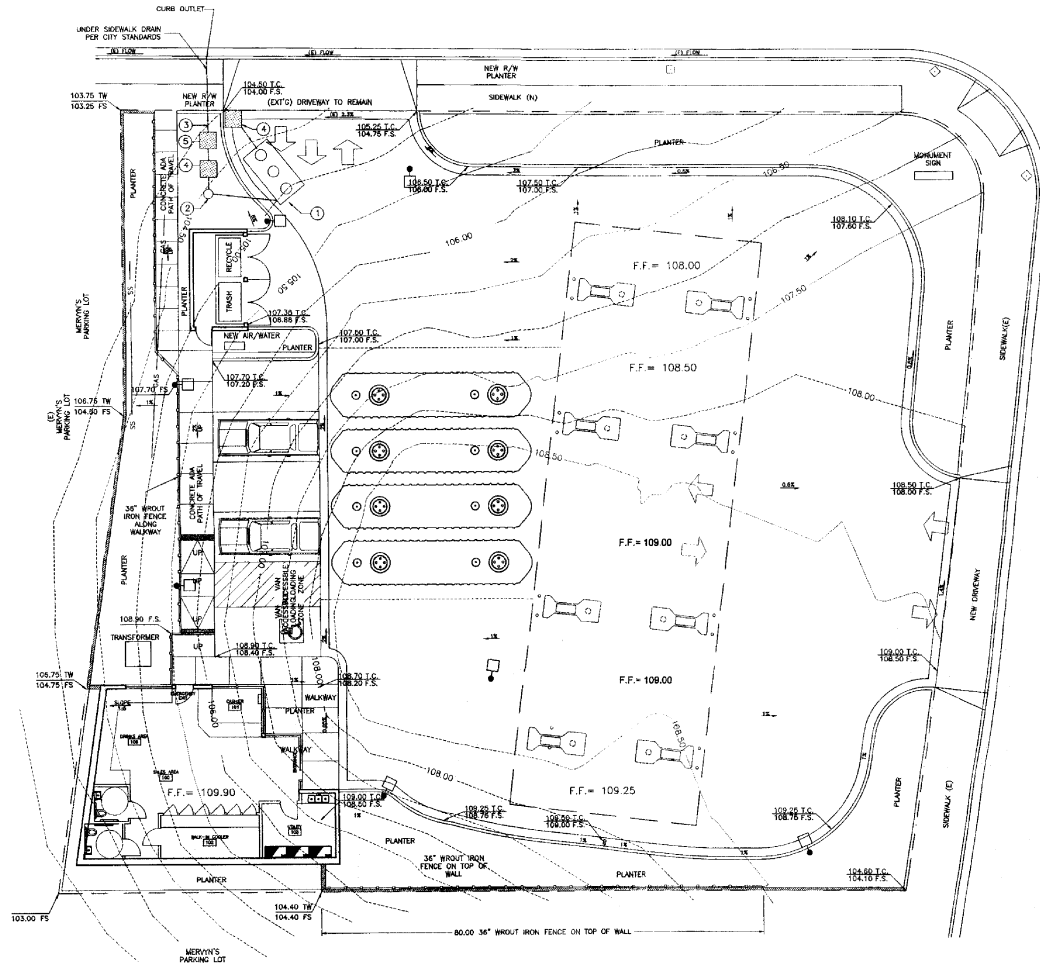
STATION # 76  
HAYWARD, CALIFORNIA  
BUILDING ELEVATIONS  
WORLD OIL MARKETING COMPANY  
C.U.P.  
MARCH, 2004

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for more information.

CUP-6

# HAZEL AVENUE

- ① JPMV-1500 HIGH VELOCITY STORMWATER INTERCEPTOR W/TRAFFIC LOAD OF H-20 UNDER COVER OF 1' TO 6'
- ② JPMV-200 SHAPING BOX W/TRAFFIC LOAD OF H-20 UNDER COVER OF 1' TO 6'
- ③ 4" PVC PIPE SCHEDULE 40
- ④ 2'x2'x3" DEEP BOX W/ 3" SUBMERGED PUMP
- ⑤ 2'x2'x2" DEEP BOX W/ GRAVITY FLOW OUTLET



CONCEPTUAL GRADING  
& DRAINAGE SITE PLAN  
SCALE: 1" = 20' FOOT  
0 10' 20'

STATION # 76  
HAYWARD, CALIFORNIA  
WORLD OIL MARKETING COMPANY  
C.U.P.

FOOTHILL BOULEVARD

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PROJECT ADDRESS  
STATION #76  
22253 FOOTHILL  
HAYWARD, CALIFORNIA 94541  
SHEET TITLE  
CONCEPTUAL GRADING  
AND DRAINAGE LAYOUT

REVISIONS

PROJECT NO. RC-03176  
DATE: 12.15.03  
DESIGNED: A.L.  
CHECKED: J.W.  
DRAWN: A.L.

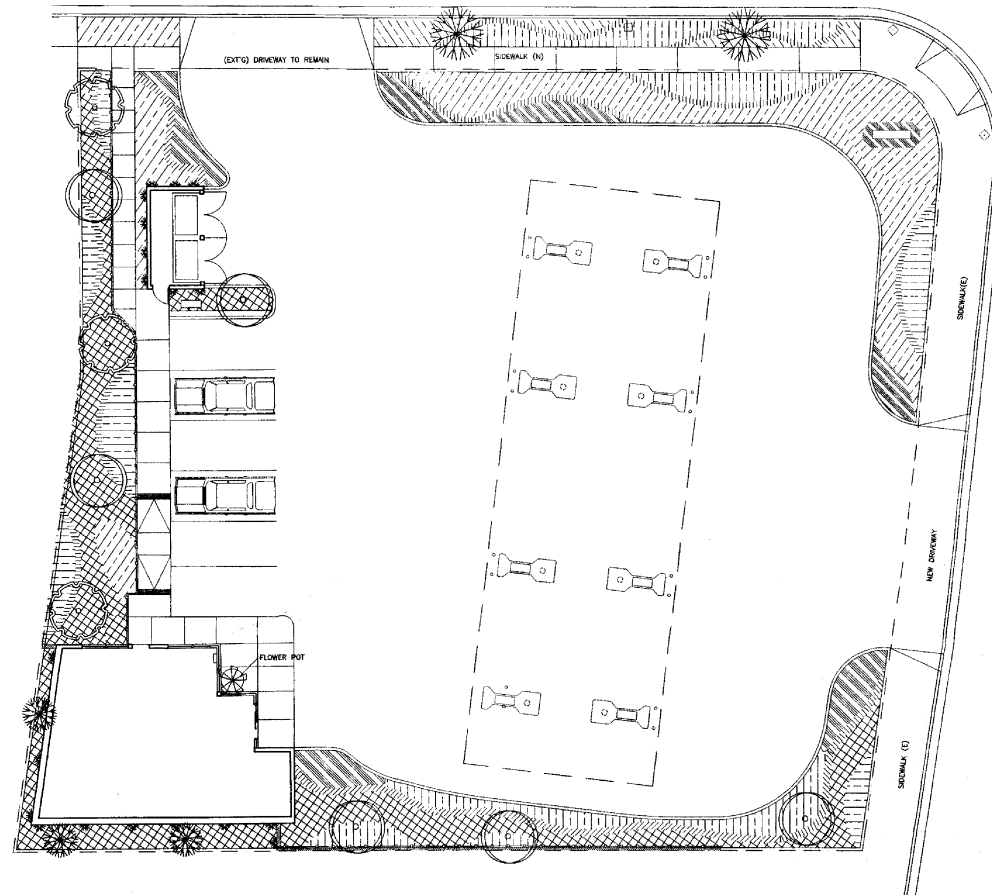
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**CUP-7**

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# HAZEL AVENUE

## PLANTING LEGEND

NO.	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
1		5-GAL. SIZE, FIELD GROWN	HEMEROCALLIS 'LEE BEA ORANGE CRUSH'	DAYLILY
2		5-GAL. SIZE, FIELD GROWN	HEMEROCALLIS 'SO SWEET'	DAYLILY
3		5 GALLON	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE
4		5 GALLON	GREVILLEA 'NOELLI'	NOELLI GREVILLEA
5		5 GALLON	FICUS REPENS	RED FICUS VINE
6		5 GALLON	PITTOSPORUM TOBIIRA WHEELERS DWARF	WHEELER DWARF PITTOSPORUM
7		PONY PACK	ANNUAL COLOR	ANNUAL COLOR
8		PONY PACK	ACAPANTHUS AFRICANUS	LILY OF THE NILE
9		24" BOX	BRACHYCHITON POPULEUM	VAR. EMERALD KING (NAME VARIETY ONLY, SMOOTH TRUNK)
10		24" BOX	LAGERSTROEMIA INDICA	VAR. GLENDORA WHITE GRAPE MYRTLE MULTI-TRUNK
11		24" BOX	TRISTANIA CONFERTA	BRISBANE BOX



## CONCEPTUAL PLANTING LAYOUT

SCALE: 1" = 20 FOOT  
0 10' 20'

**STATION # 76**  
**HAYWARD, CALIFORNIA**  
**WORLD OIL MARKETING COMPANY**

**C.U.P.**

MARCH, 2004

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**STATION #76**  
**22253 FOOTHILL**  
**HAYWARD, CALIFORNIA 94541**  
**PROPOSED**  
**CONCEPTUAL PLANTING LAYOUT**  
**SHEET TITLE**

REVISIONS	DATE	BY	CHKD

PROJECT NO: RC-03176  
DATE: 12.15.03

DESIGNED: A.I.  
CHECKED: J.W.  
DRAWN: A.I.

SHEET:

**CUP-8**